

REQUEST FOR PROPOSALS

Surveying and Design Services for East Leg of the Midland Trace Trail and Monon/Midland Trace Loop Connection

1. GENERAL INFORMATION:

a. Issued By:

Washington Township Parks and Recreation
c/o Melody Sweat, Director
1549 E. Greyhound Pass
Carmel, IN 46032

Phone: (317) 574-1074
Fax: (317) 574-1076

b. Funding:

No Federal funds involved in design or construction.

c. Date Issued:

February 7, 2008

d. General Submission Requirements:

i. Washington Township (the "Township"), in cooperation with the City of Westfield (the "City"), is issuing a Request for Proposal ("RFP") for surveying and design services (including construction cost estimates) for the east leg of the Midland Trace Trail and the Monon/Midland Trace Loop connection (the "Midland/Monon Project").

ii. Sealed Proposals: Consultant will deliver ten (10) copies, an original and nine (9) copies, (one copy unbound and suitable for photocopying) to the following address:

- (a) Washington Township Parks and Recreation
- (b) c/o Melody Sweat, Director
- (c) 1549 East Greyhound Pass
- (d) Carmel, IN 46032

iii. By 3:00 p.m. on March 5, 2008

- iv. Proposals received after the above cited time will be considered a late proposal and shall not be accepted. Proposal envelopes and shipping packages must be clearly marked "MIDLAND/MONON PROJECT SEALED RFP".
- v. Firms may submit proposals for some or all of the Sections outlined in section 4, below.

e. Overview:

- i. **Project Purpose:** The intent of this document is to provide interested firms with sufficient information to enable them to prepare and submit proposals for consideration by the Township for surveying, geotechnical, and design services required for the development of multi-use trails and related components as identified herein.
- ii. **Description of Work:** In 2004, the Township and the City prepared the Monon & Midland Trace Trail Master Plan (the "Midland/Monon Plan") which provides for the development of multi-use trails within the former Monon and Central Indiana railroad rights of way.

Since the Midland/Monon Plan was completed, a trail loop has been proposed to connect downtown Westfield to the former Monon railroad right of way. Plans for this trail loop have been incorporated into the City's Thoroughfare Plan.

The Monon/Midland Trace Loop includes three planned connecting points across U.S. Highway 31: (1) the southern connection contemplated near the intersection of 161st Street and U.S. Highway 31; (2) the middle connection is contemplated at the intersection of 169th Street and U.S. Highway 31; and (3) the northern connection is contemplated at the intersection of 181st Street and U.S. Highway 31.

f. Pre-Submission Meeting:

A mandatory pre-proposal meeting will be held at 9:00 am to 10:30 am, February 20, 2008 at Westfield Public Works office, 2706 East 171st Street, Westfield, IN 46074. Please RSVP to Neil VanTrees at nvantrees@westfield.in.gov if you plan on attending. This meeting will include an overview of the Midland/Monon Project and related background plans, information and materials. With weather permitting, a site visit will be conducted. Please bring appropriate shoes and attire for the field. Transportation for the site visit will be provided.

g. Inquiries:

- i. General project questions and procedural questions regarding this RFP should be directed to Melody Sweat, Washington Township Parks and Recreation Director at (317) 574-1074 or msweat@washingtontownship-hc.us.
- ii. Technical project questions regarding this RFP should be directed to Neil VanTrees, Westfield Public Works Engineer at (317) 896-5452 or nvantrees@westfield.in.gov.

2. PROPOSAL TERMS:

- a. The Township reserves the right to reject any and all proposals (or portions thereof) received in response to this RFP. Selection will be based on price, quality of service, contractor qualifications, capabilities to provide the specified services and other factors that the Township may deem important. The Township does not intend to award a contract based solely on the quality of the information submitted in response to this RFP. The Township reserves the right to consider proposals for modifications at any time before a contract is awarded. Negotiations will be undertaken with the firm whose proposal is deemed to best meet the Township's specifications and needs. **Please note no federal funds involved in design or construction.**
- b. The Township reserves the right to reject any or all proposals (or portions thereof), to waive or not waive informalities or irregularities in these procedures, and to accept or further negotiate cost, terms, or conditions of any proposal determined by the Township to be in the best interest of the Township.
- c. Proposals must be signed by an official authorized to bind the submitting firm to the proposal's provisions for at least a period of 90 days. Failure of the successful bidder to accept the obligation of the contract may result in the cancellation of any award.
- d. In the event it becomes necessary to revise any part of the RFP, addenda will be provided. Deadlines for submission of proposals may be adjusted to allow for revisions. To be considered, ten (10) copies, the original and nine (9) copies, (one copy unbound and suitable for photocopying) must be delivered to the Township on or before the date specified.
- e. Proposals should be prepared simply and economically providing a straight forward, concise description of the contractor's ability to meet the requirements of the RFP. Proposals shall be typewritten. No erasures are permitted. Mistakes may be crossed out and corrected and must be initialed in ink by the person signing the proposal.

- f. A service agreement (or agreements) will be executed between the Township and the selected firm(s). The Township reserves the right to award the total proposal, to reject any and all proposals in whole or in part, and to waive any informality or technical defects if, in the Township's sole judgment, the best interest of Township will be so served.
- g. Survey, Geotechnical, and design requirements are outlined in Exhibit 3.

3. REQUIREMENTS:

- a. Name, address and brief description of firm.
- b. List and resumes of personnel to be assigned to this project.
- c. A one page narrative explaining the firm's interest, particular abilities and qualifications related to this project.
- d. Describe other projects designed by your firm and key personnel related to this project, include reference contact information.
- e. Attend the pre-submission meeting on February 20, 2008 from 9:00-10:30 AM.
- f. The firm shall generate and provide construction documents and specifications necessary for bidding and construction of the trail project.
- g. The firm shall also provide the Township with electronic files in AutoCAD, word, and PDF format of all construction documents and plans.
- h. The firm shall provide a detail design schedule. Firms are encouraged to place the project on a fast track schedule.
- i. Retain a local contractor to provide refined construction schedule and cost estimates for the project.
- j. Proposal shall include a statement of fees not to exceed. Fees shall be separated for each section of the project. Include costs for travel, meetings, reimbursables, and corrections from reviews. **Please note no federal funds involved in design or construction.**

4. PROPOSAL SPECIFICS:

- a. **Structure of Proposal:** This RFP includes three Sections described below (see Exhibits 1 & 2). Each Section should be addressed separately in any submitted proposal. Firms may submit proposals for all or some of the three Sections. The Township reserves the right to select a different firm for each of the three

Sections. Proposals shall be submitted for surveying and design services for the development of the trail Sections described below. A detailed outline of construction costs shall be included.

- i. **Section 1 – Midland Trace Trail:** The Midland Trace Trail is planned to be a twelve feet (12') wide asphalt multi-use trail that will provide alternative transportation and recreational opportunities to the community. It is planned to be built within the former Central Indiana Railroad right of way. The portion of the Midland Trace Trail included in this RFP will intersect with Gray Road (on the east) and will extend west to intersect with Union Street (where it will connect to Section 2, the Monon/Midland Trace Loop East).

Plans shall be designed in accordance with the trail construction standards that have been established by the City (see link below). Existing sidewalks that intersect or terminate within one hundred feet (100') of this Section shall be incorporated into the trail design. Proposals must include treatments at road intersections, any needed bridges, and any necessary culverts.

Connection to two trail heads will need to be included as part of the design of this component. There is an existing minor trail head near the east side of Carey Road, behind the Kroger shopping center. The other important trail head connection is just west of Carey Road at Simon Moon Park. Work should be coordinated in order to minimize disturbance to existing landscaping during the construction process and to minimize impacts on water quality.

- ii. **Section 2 – Monon/Midland Trace Trail Loop East:** This Section of the trail extends from the intersection of the Midland Trace Trail and Union Street to the south property line of Hamilton Square Apartments. This Section is the most challenging component of this project. The Township is looking for creative ideas to connect Section 1 of the project to the relatively new sidewalk that runs along the east property line of Woodside Estates subdivision (eventually the Woodside estates sidewalk may be replaced with a wider trail, but not as part of this project). Because of the design restrictions within this Section, modified/innovative trail standards and designs will be considered for this Section of the project. A private developer is constructing the Monon/Midland Trace Trail Loop from the south property line of Woodside Estates to the intersection of 161st Street and U.S. Highway 31. For these reasons any proposals for Section 2 shall only include the area between the intersection of the Midland Trace Trail and Union Street (on the north) and the south property line of Hamilton Square Apartments (on the south).

- iii. **Section 3 – Monon/Midland Trace Loop West:** West of U.S. Highway 31 it is contemplated that the trail will follow along the south side of 161st Street west to the former Monon Railroad right of way. The trail will then turn south and follow the former Monon Railroad right of way to the existing paved trail that currently extends midway between 156th Street and 161st Street.

This Section of the trail is planned to be a twelve feet (12') wide asphalt multi-use trail that will provide alternative transportation and recreational opportunities to the community. Plans shall be designed in accordance with the trail construction standards that have been established by the City (see link below). Existing sidewalks that intersect or terminate within one hundred feet (100') of this Section shall be incorporated into the trail design. Proposals must include treatments at road intersections, any needed bridges and any necessary culverts.

Background Materials: Below is a list links to background materials that will provide guidance in developing project proposals:

Westfield Thoroughfare Plan (see Figures 4.5 & 4.6)

http://www.westfield.in.gov/egov/docs/1187357971_565856.pdf

Westfield Trails and Greenways Map

http://www.westfield.in.gov/egov/docs/1190383051_991546.pdf

Westfield Pedestrian Trail Construction Standards (see Section 1.2 and exhibits)

<http://www.westfield.in.gov/egov/docs/748351111162131.pdf>

Monon & Midland Trace Trail Master Plan

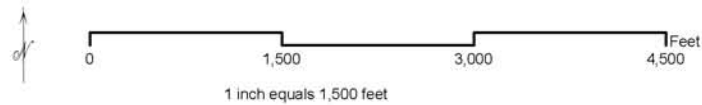
*On file at Westfield City Hall (130 Penn Street, Westfield, Indiana, 46074, (317) 896-5570)

5. **PROJECT SCHEDULE:** A project schedule shall be provided demonstrating the time elements in weekly intervals. Please submit your proposal to meet the following proposed schedule.

February 20, 2008	Mandatory pre-submission meeting
March 5, 2008	Submission deadline for proposals
March 11, 2008	List of finalists will be developed; finalists notified
March 25, 2008	Conduct interviews of finalists
March 27, 2008	Selection committee presents two finalists to Washington Township Board of Advisors ("Board") for final selection; Board makes selection
April 10, 2008	Proposed contract due from selected firm
April 24, 2008	Contract approved by Board
May 1, 2008	Notice to proceed with work issued to firm



EXHIBIT 1 - SECTION 1 & 2



DISCLAIMER: The Town of Westfield, Indiana, creates this map as an effort to increase the availability of public information and enhance public knowledge. The Town is not responsible for any errors or omissions in this map. The information displayed on this map is not guaranteed to be complete, accurate, or up-to-date. The Town of Westfield reserves the right to change the content of this map without notice. The Town of Westfield assumes no liability for any errors or omissions. This map is not to be used for any purpose other than for general informational purposes. The map is not to be used for any purpose other than for general informational purposes. The map is not to be used for any purpose other than for general informational purposes. The map is not to be used for any purpose other than for general informational purposes.

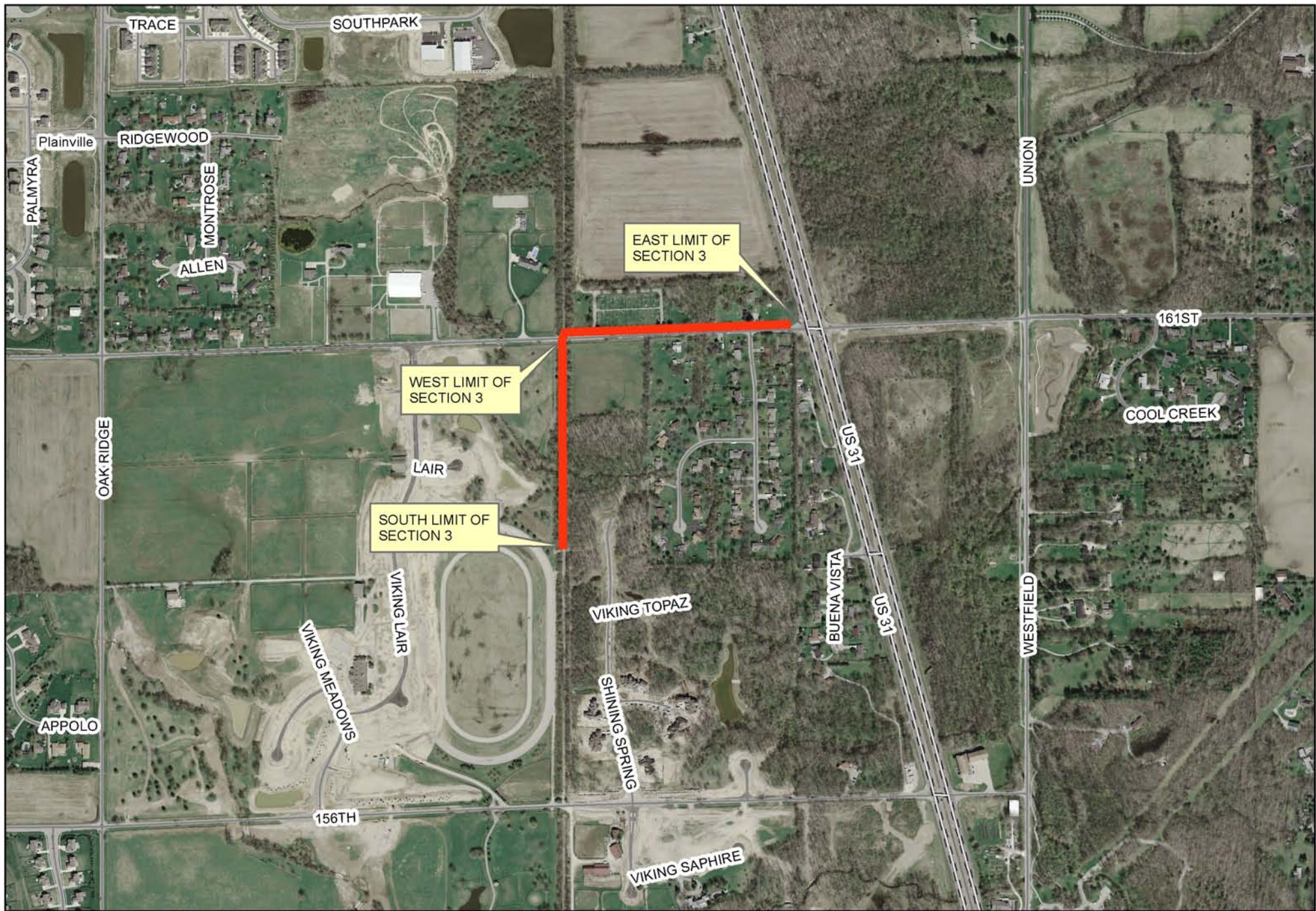
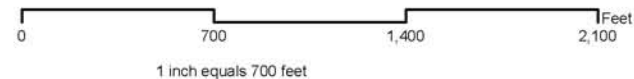


EXHIBIT 2 - SECTION 3



DISCLAIMER: The Town of Westfield, Indiana, created this map as an effort to increase the availability of public information and enhance public knowledge. The Town is not responsible for any errors or omissions in this map. The information displayed on this map is not guaranteed to be complete, accurate, or up-to-date. The Town of Westfield reserves the right to change the content of this map without prior notice. The Town of Westfield assumes no liability for any errors or omissions. This map is not intended to be used in place of legal proceedings, and is subject to change without notice. The information displayed on this map should be used in place of legal proceedings. The information displayed on this map should be used in place of legal proceedings. The information displayed on this map should be used in place of legal proceedings.

EXHIBIT 3

Survey Requirements

1. Survey shall be a topographic survey. Cross sections shall be every 50'.
2. Survey shall include all utilities. If attainable owner, depth, size, and material of utilities shall be obtained.
3. Survey will be on the old railroad corridor. Old rail right-of-way is assumed to vary 60'-66'. For purposes of cross sections and grading, surveyor shall obtain information 20' outside of old rail right-of-way or where greater detail is needed. Surveyor shall use professional judgment and coordinate with the designer on exact limits. If trail follows a roadway, designer will dictate scope of surveying required.
4. Projection shall be referenced to NAD83, Indiana State Plane Coordinate System, East Zone, using U.S. Survey Feet and per Hamilton County datum. Elevations shall be in the NAVD 88 vertical datum. The coordinate location of the items listed below shall be obtained by a field survey and with vertical data that meets survey grade accuracy.
5. All easements shall be represented and drawn as closed polylines representing aggregate areas. Easements shall be identified with an instrument number.
6. When the trail encounters a roadway, survey must include information 150' in each direction of the roadway or what the designer deems necessary for an accurate representation, whichever is greater.
7. Sidewalks/paths/trails within 100' of the proposed trail will be tied in. Therefore, topographic information must be obtained for the designer.
8. Property lines and property owners shall be represented on the survey.
9. Identification of all property owners with legal descriptions and easements shall be a separate document. It shall be delivered in digital and hard copy.
10. A registered Indiana land surveyor is to provide (digital and hard copy) two exhibits for each property that right-of-way is required to be obtained. Exhibit "A" will be the real estate description. Exhibit "B" will be the sketch of real estate description. Both exhibits must be signed, dated, and sealed. Right-of-way required will be determined by designer, city, and town.
11. Surveyor is to work with designer to obtain any additional information deemed necessary and not outlined in the above requirements.

Geotechnical Requirements

1. Geotechnical investigation and reports must be conducted for each section of the trail. Requirements will be dictated by the designer.
2. If a bridge will be proposed, adequate information for a bridge design must be obtained.
3. Report must be delivered digital as well as a hard copy.

Design Requirements

1. **Please note no federal funds involved in design or construction.**
2. All applicable AASHTO Guidelines regarding bicycle and pedestrian facilities and all accessibility and ADA guidelines for outdoor recreation shall be used. City of Westfield pedestrian trail construction standards, see page 6, shall be used.
3. The designer will determine the most economic route for the trail. Plans shall include but not limited to alignment, grades/slopes, profile, cross sections, grading, drainage, pavement design (if current standard is deemed insufficient), trail head connection, bridges (if applicable), railing (where slope dictates a safety hazard), screenings, connections to nearby sidewalk/path/trail, vegetation clearing limits, road crossings, and line items & quantities for construction.
4. If bridges and railings are required, designer will dictate design and limits clearly on the plan. Design of bridge must follow INDOT design criteria and allow for emergency vehicle access. Items must be aesthetically pleasing. Designer will coordinate with the Town and City on visual aspects.
5. Designer will identify any necessary local, state, and federal permits required for the construction of the trail. Designer will prepare permits and submit to agencies to obtain approvals.
6. Detailed estimated design schedule in weekly increments, estimated timeline for right-of-way services and acquisition, detailed estimated construction schedule, and estimated construction cost shall be submitted.
7. The City and Township reserve the right to use an outside firm to review and comment on proposed plans. Revisions to comments shall be included in the design cost.
8. Phase 2 environmental was completed in the overall master plan.
9. Property owners shall be shown on the design plans. Limits of right-of-way acquisition shall be shown and agreed upon by the Town and City.
10. Designer shall submit 50%, 80%, and 100% plans and specifications for comment and review to City and Town. Designer will conduct progress meetings and shall be included in the design cost.
11. Suggested locations of amenities (benches, bike racks, markers, water fountains, etc.) shall be shown. The amenities will be similar to the Monon Trail from 146th St. to 156th St. and the master plan.